

23/3385M

Land adjacent to 17,

AVONSIDE WAY, MACCLESFIELD,

SK11 8BY

Project: _____

**LAND ADJACENT TO
17 AVONSIDE WAY
MACCLESFIELD
CHESHIRE
ENGLAND**

For Jon Wynne

Date: _____

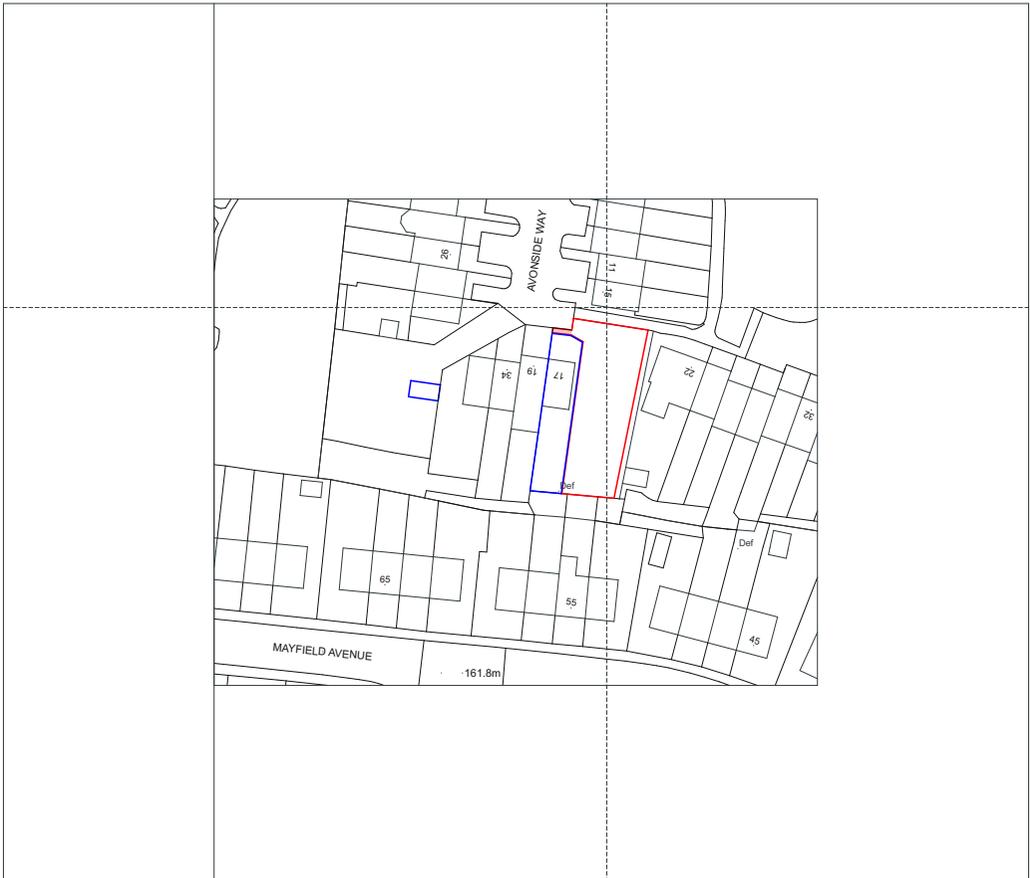
28.02.2024

Revision: _____

1- first issue 05.09.2023

1- revised design for planning 10.01.2024

2- east boundary updated 28.02.2024



- application site
- land under same ownership
- shared space



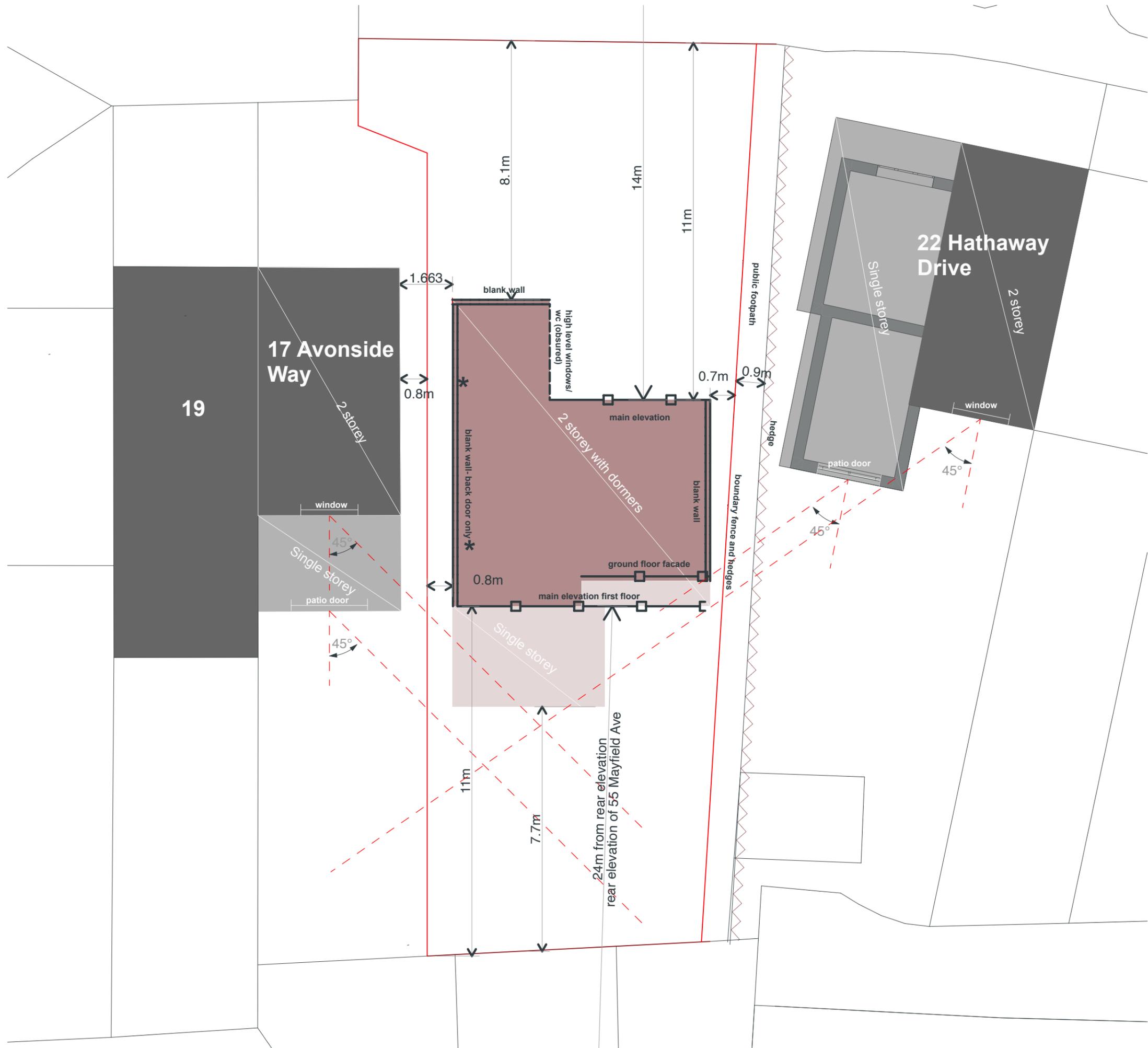
Title: _____

LOCATION PLAN

Drawing No: _____

**A_L_0
1_01**

Scale: 1:1250@A4



AVONSIDE WAY



- application site
- shared space
- land under same ownership
- grass/lawn
- concrete pavements
- planting/shrubs/hedges

Project: _____
**LAND ADJACENT TO
 17 AVONSIDE WAY
 MACCLESFIELD
 CHESHIRE
 ENGLAND**
 For Jon Wynne



BAND ARCHITECTS

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Date: 28.02.2024
 Revision:
 - first issue 05.09.2023
 1- revised design for planning 10.01.2024
 2- east boundary updated 28.02.2024

Title: **EXISTING SITE PLAN**
FOR PLANNING PERMISSION

Drawing No: **A_L_0
 1_02**
 Scale: 1:200@A4

AVONSIDE WAY



- low ht. close boarded treated timber fence- 0.9m high
- close boarded treated timber fence- 1.8m high with matching gates
- application site
- shared space
- land under same ownership
- grass/ lawn
- resin or tarmac
- concrete pavements
- gravel
- decking
- planting/ shrubs/ hedges
- proposed tree

Project: **LAND ADJACENT TO 17 AVONSIDE WAY MACCLESFIELD CHESHIRE ENGLAND**
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Revision:
- first issue 05.09.2023
1- revised design for planning 10.01.2024
2- revised design for planning 15.02.2024
3- east boundary updated 28.02.2024

Title: **PROPOSED SITE PLAN**
FOR PLANNING PERMISSION

Drawing No: **A_L_0 1_10**
Scale: 1:200@A4





Project:

**LAND ADJACENT TO
17 AVONSIDE WAY
MACCLESFIELD
CHESHIRE
ENGLAND**

For Jon Wynne

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3- east boundary updated 28.02.2024

Title:

**PROPOSED
GROUND FLOOR
PLAN**

FOR PLANNING PERMISSION

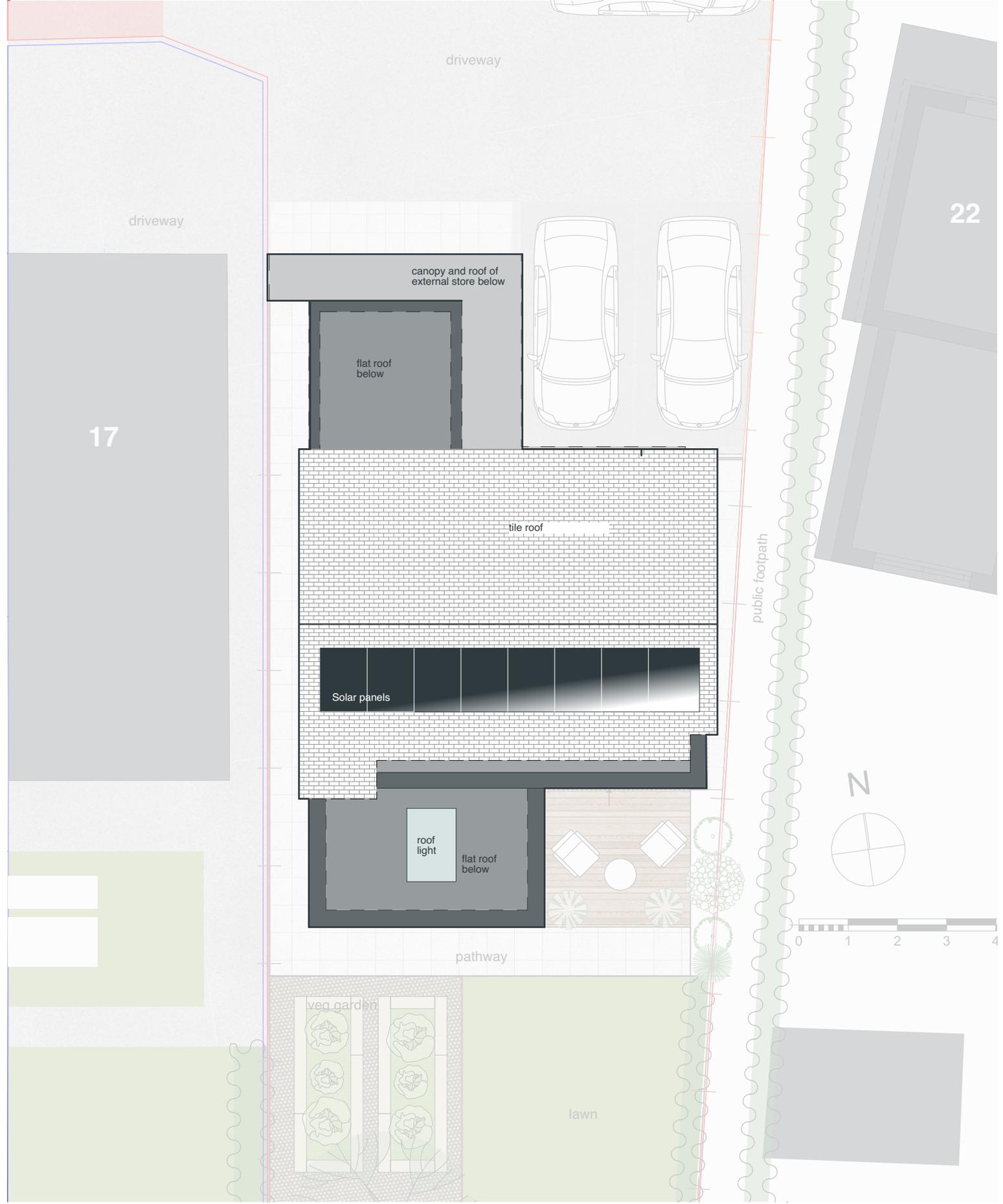
Drawing No:

**A_L_0
2_11**

Scale: 1:100@A3

BANDARCHITECTS





Project:
**LAND ADJACENT TO
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 MACCLESFIELD
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 ENGLAND**
 For Jon Wynne



BAND ARCHITECTS

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Title:
**PROPOSED ROOF
 PLAN**

FOR PLANNING PERMISSION

Drawing No:
**A_L_0
 2_14**

Scale: 1:100@A4



Project: _____

**LAND ADJACENT TO
17 AVONSIDE WAY
MACCLESFIELD
CHESHIRE
ENGLAND**

For Jon Wynne

Date: _____

15.02.2024

Revision: _____

- first issue 05.09.2023

1- revised design for planning 10.01.2024

2- revised design for planning 15.02.2024

**KEY:**

1. Timber cladding - black
2. Obscured UPVC double glazed window - black frames
3. Red masonry
4. Timber doors to external store- black
5. UPVC double-glazed windows and doors - black frames
6. Close boarded treated timber fence
7. Concrete tile roof in grey
8. PPC aluminium flashings and trims - black
9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
10. Close boarded treated timber gate
11. Composite front door - black

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Title: _____

**PROPOSED NORTH
(FRONT)
ELEVATION**

Drawing No: _____

**A_L_0
3_10**

Scale: 1:100@A4

Project: _____

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17 AVONSIDE WAY
MACCLESFIELD
CHESHIRE
ENGLAND**

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Title: _____

PROPOSED EAST ELEVATION

Drawing No: _____

**A_L_0
3_11**

Scale: 1:100@A4



KEY:

- 1. Timber cladding - black
- 2. Obscured UPVC double glazed window - black frames
- 3. Red masonry
- 4. Timber doors to external store- black
- 5. UPVC double-glazed windows and doors - black frames
- 6. Close boarded treated timber fence
- 7. Concrete tile roof in grey
- 8. PPC aluminium flashings and trims - black
- 9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods- black
- 10. Close boarded treated timber gate
- 11. Composite front door - black

Project: _____

**LAND ADJACENT TO
17 AVONSIDE WAY
MACCLESFIELD
CHESHIRE
ENGLAND**

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Date: _____

15.02.2024

Revision: _____

1- first issue 05.09.2023

1- revised design for planning 10.01.2024

2- revised design for planning 15.02.2024



KEY:

1. Timber cladding - black
2. Obscured UPVC double glazed window - black frames
3. Red masonry
4. Timber doors to external store - black
5. UPVC double-glazed windows and doors - black frames
6. Close boarded treated timber fence
7. Concrete tile roof in grey
8. PPC aluminium flashings and trims - black
9. UPVC or aluminium verge, soffit and fascia cladding with matching rainwater goods - black
10. Close boarded treated timber gate
11. Composite front door - black
12. Solar panels

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Title:
**PROPOSED SOUTH
(REAR) ELEVATION**

Drawing No: _____

**A_L_0
3_12**

Scale: 1:100@A4

